

Planning Committee Presentation

20th August 2024

Page 1

230847

Site 1 off Martinique Way

Erection of an extra-care retirement community (Use Class C2), comprising 128 no. apartments for older people, ancillary facilities and services including an ancillary restaurant/bar and community meeting/activity space, soft and hard landscaping, parking, access and other associated works

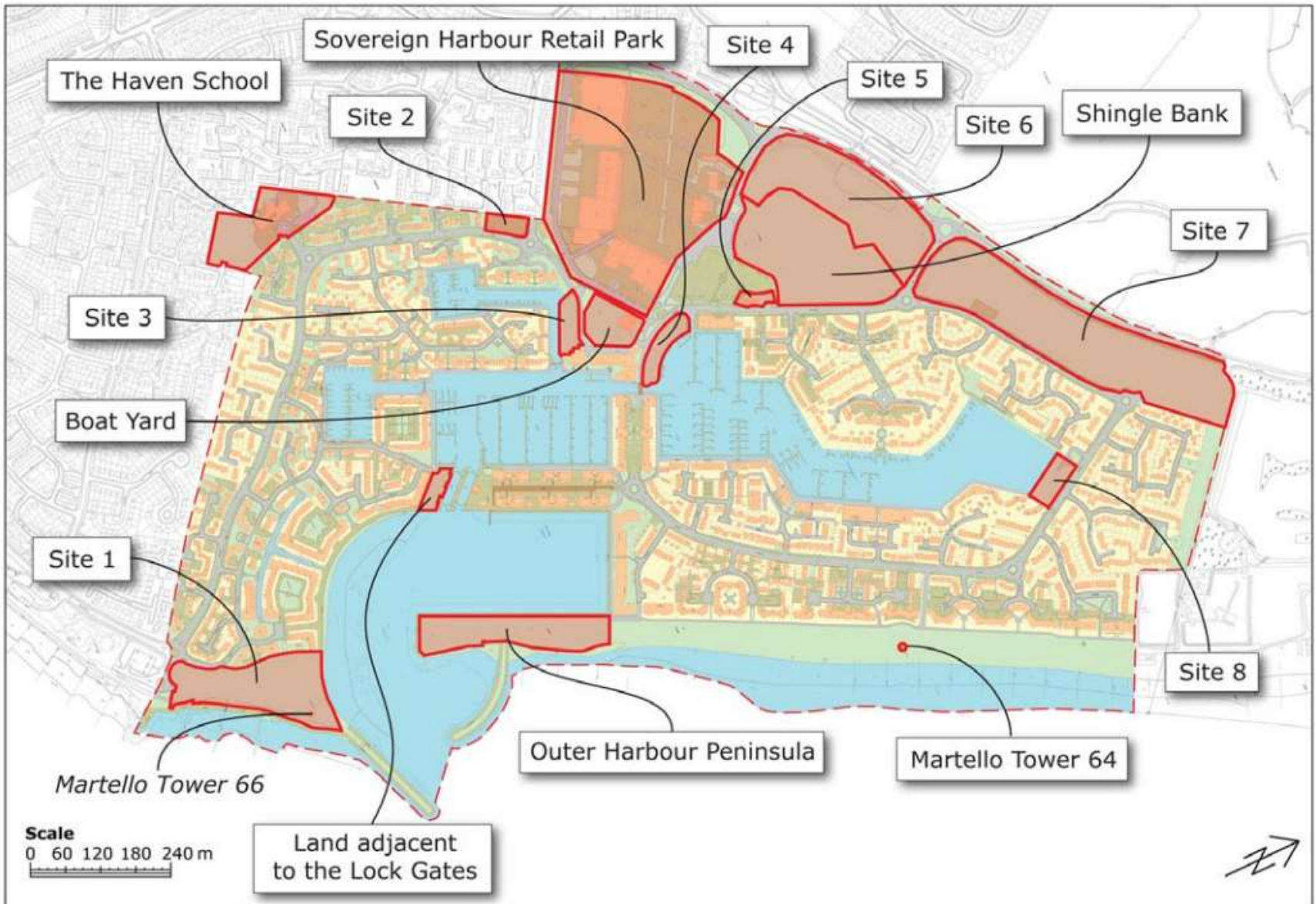
Site Location Plan



Aerial View of Application Site



Sovereign Harbour SPD



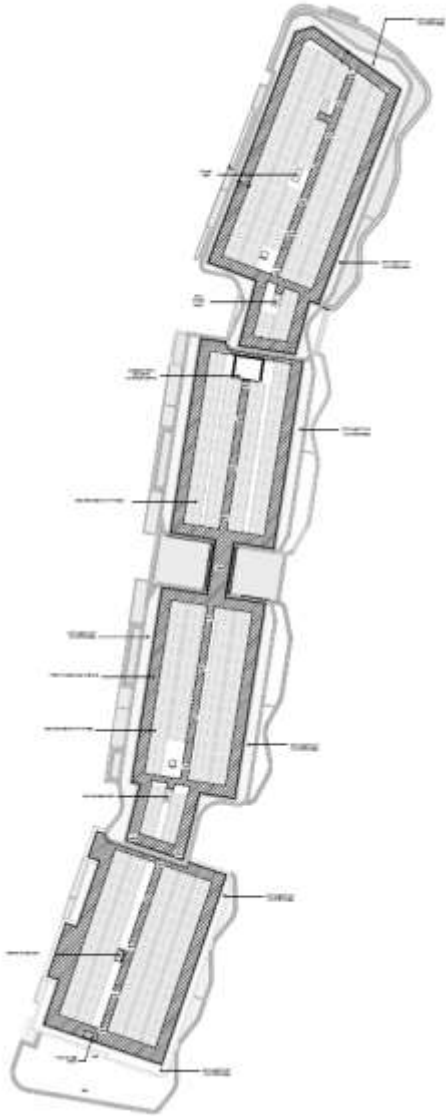
Site photographs



Page 6



Proposed Roof Plans



Amendments to scale – original and revised

Page 8



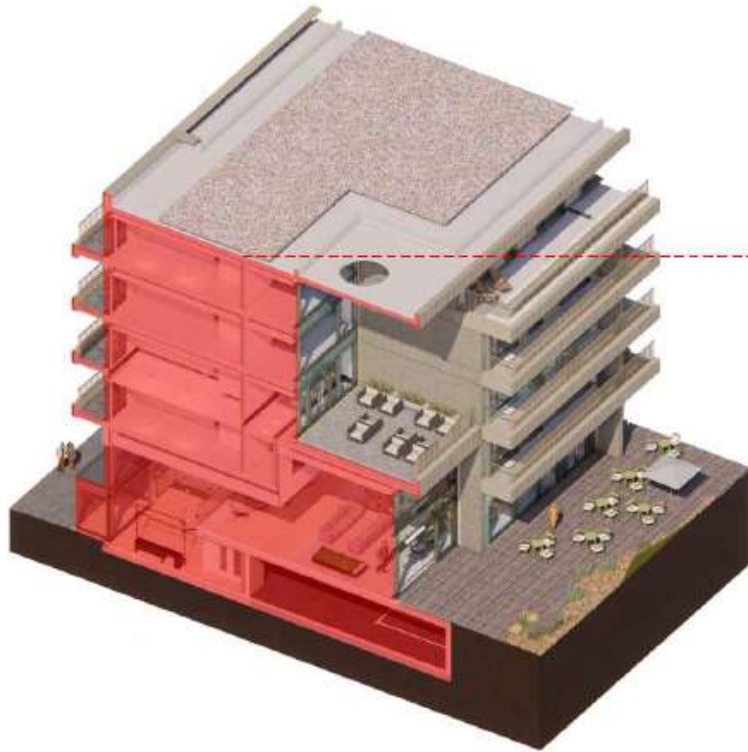
Section through Block A as submitted proposal. 7-storeys above car park level.



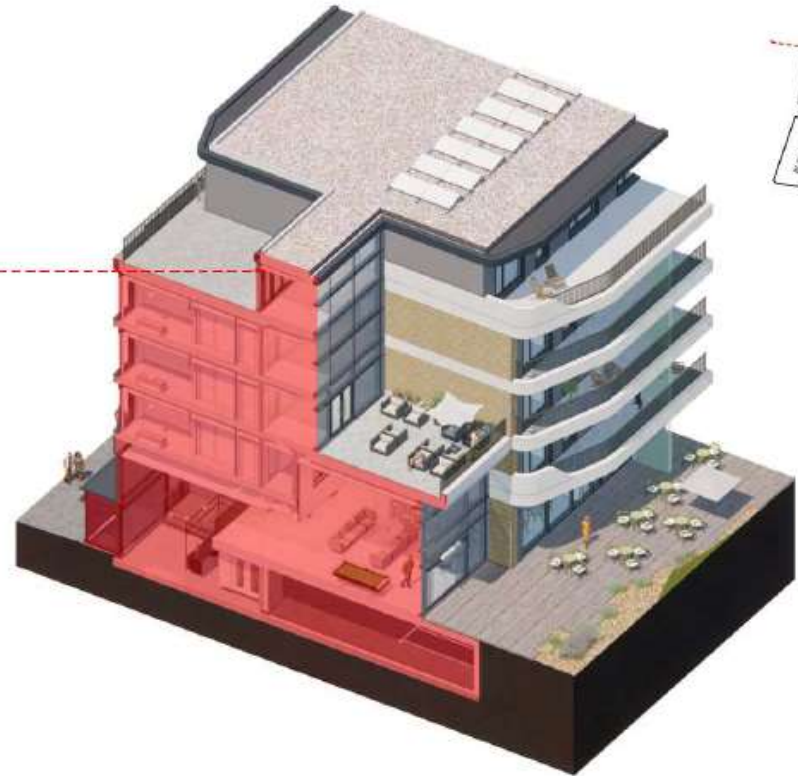
Section through Block A as amended. 6-storeys above car park level.

Amendments to roofline – original and revised

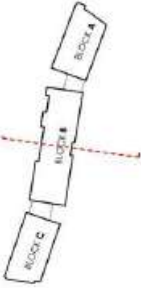
Page 9



Section through block B as current application



Section through block B with 4th floor apartment removed



Visual of original proposal with Martello Tower

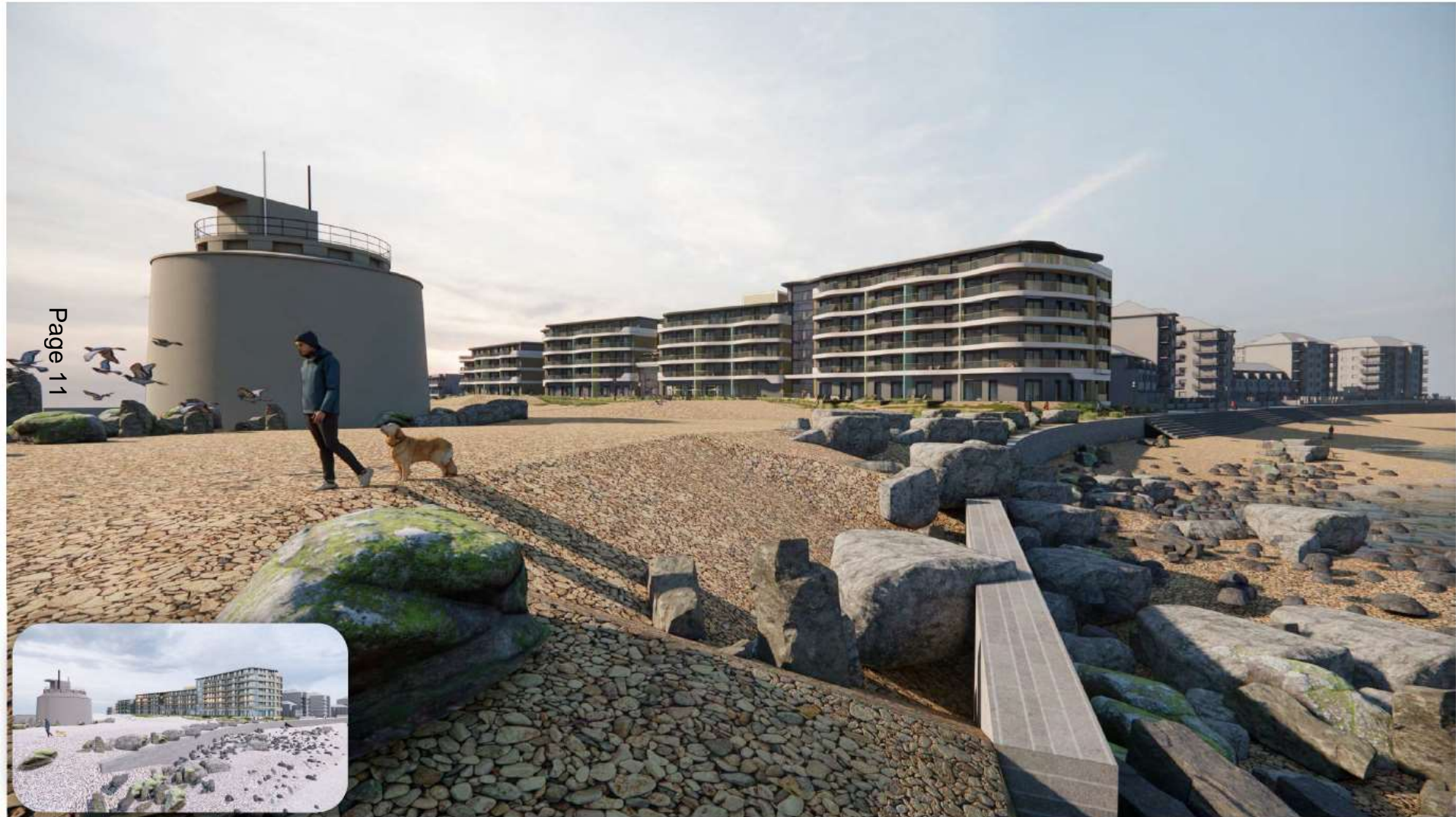
Page 10



View from north past Martello Tower 66

Visual of original proposal with Martello Tower

Page 11



Visual of original proposal viewed from the harbour

Page 12



View from north across outer harbour

Visual of revised proposal viewed from the harbour

Page 13



Revisions to elevational treatment



Previous elevational treatment - materials



GRC cladding panels with linear texture



Metal balustrading adjacent GRC cladding panels



Aluminium windows adjacent glass cladding panels



Glass cladding panels at Paddington Station/ Elizabeth Line



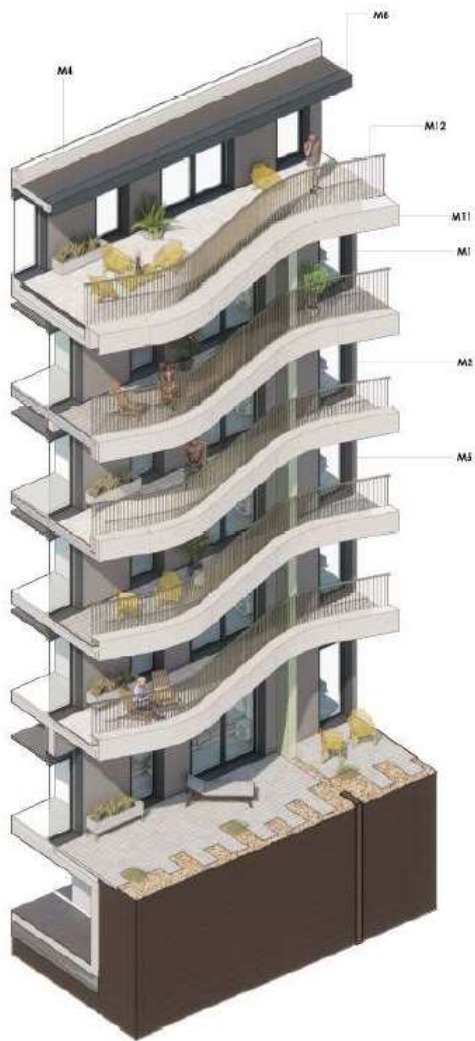
Eastern elevation study



Western elevation study

Revisions to elevational treatment - materials

Page 16



Key to Materials:

- M.1 External Wall Insulation System, Render Finish. (Grey). Reaction to fire classification A2-s1, d0.
- M.2 Buff Brick facade. Stretcher bond. Brick to be Michelmersh DaneHill Yellow **or similar**.
- M.3 Buff Brick facade. Soldier course banding. Brick to be Michelmersh DaneHill Yellow **or similar**.
- M.4 Cantilevered Balcony, thermally broken. Vertical metal Balustrading. PPC—Bronze, Metallic Matt. **Colour reference to be confirmed.**
- M.5 Composite Window/ Sliding Door. PPC Bronze/ Grey. **Colour reference to be confirmed.**
- M.6 Aluminium Curtain Walling. PPC Bronze/ Grey. **Colour reference to be confirmed.**
- M.7 Aluminium Door PPC Bronze/Grey - **Colour reference to be confirmed.**
- M.8 Flashings. PPC Bronze/ Grey . **Colour reference to be confirmed.**
- M.9 Privacy Screen. Frosted Glass.
- M.10 Louvered Plant enclosure. PPC Bronze/ Grey . **Colour reference to be confirmed.**
- M.11 Glass fibre reinforced concrete banding (GRC). Sahara Ferro Light NSO1 F102 Pietra **or similar**.
- M.12 Clad balcony dividers. Pastel Green/ Blue. Back painted glass. RAL/ 6034/6019 **Colour reference to be confirmed.**

Proposed 3D Bay Section—Sea facing side

Proposed 3D Bay Section—Land facing side (Martinque Way)

Visual of revised proposal with neighbouring context

Page 17



Visual of original proposal viewed from beach

Page 18



View from south adjacent to White Point houses

Visual of revised proposal viewed from beach



Relocation of playspace



Precedent Image: Balancing Logs



Precedent Image: Play boulders



Precedent Image: Conference speakers



Precedent Image: Wind harp



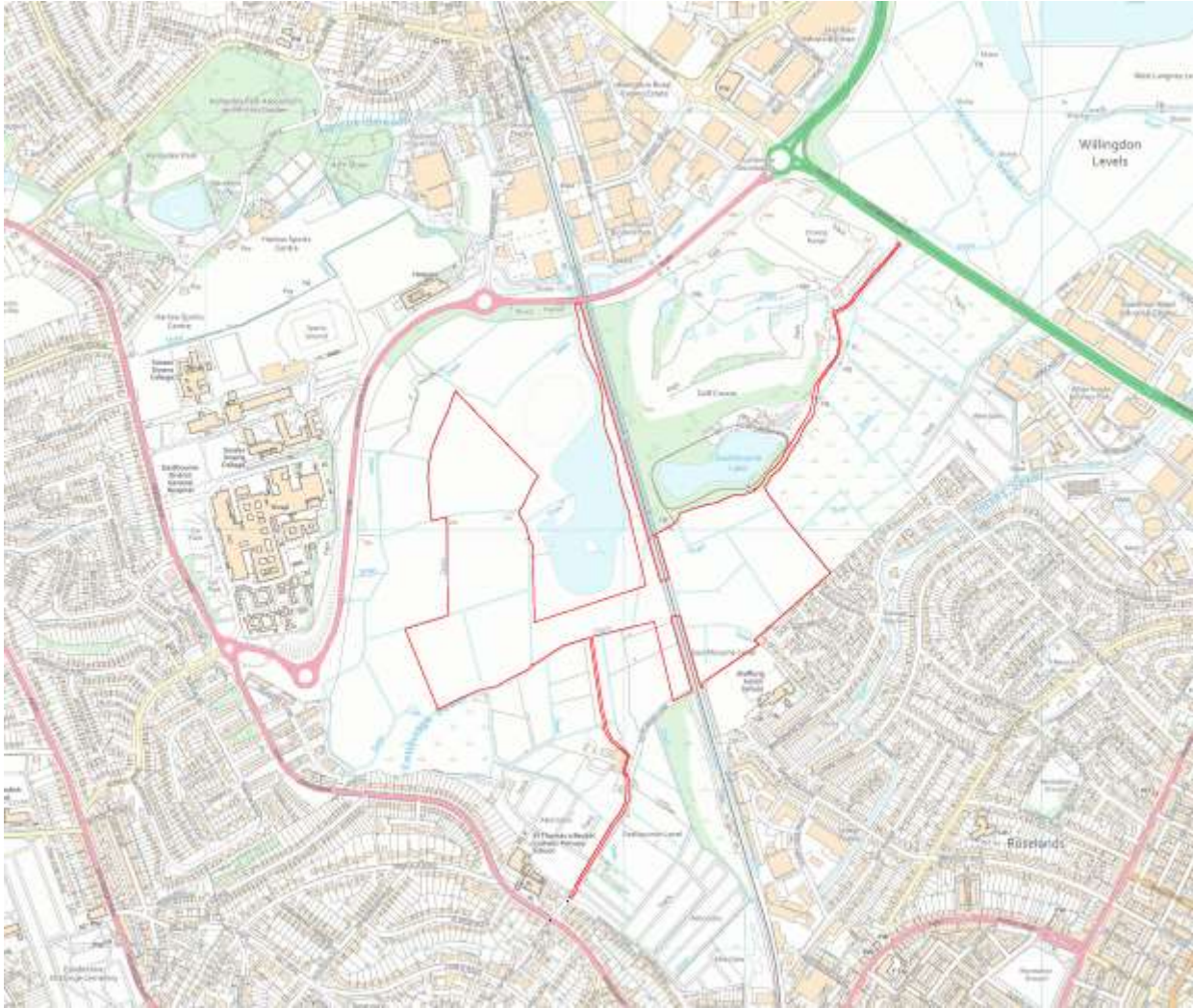
Precedent Image: Stroking seal

230800

Land South of Cross Levels Way

Construction and operation of a solar photovoltaic farm with battery energy storage and associated infrastructure including transformers, inverters, DNO Substation, customer switchgear, security cameras, fencing, access tracks, landscaping, and safeguarding of land for potential pedestrian/cycle link.

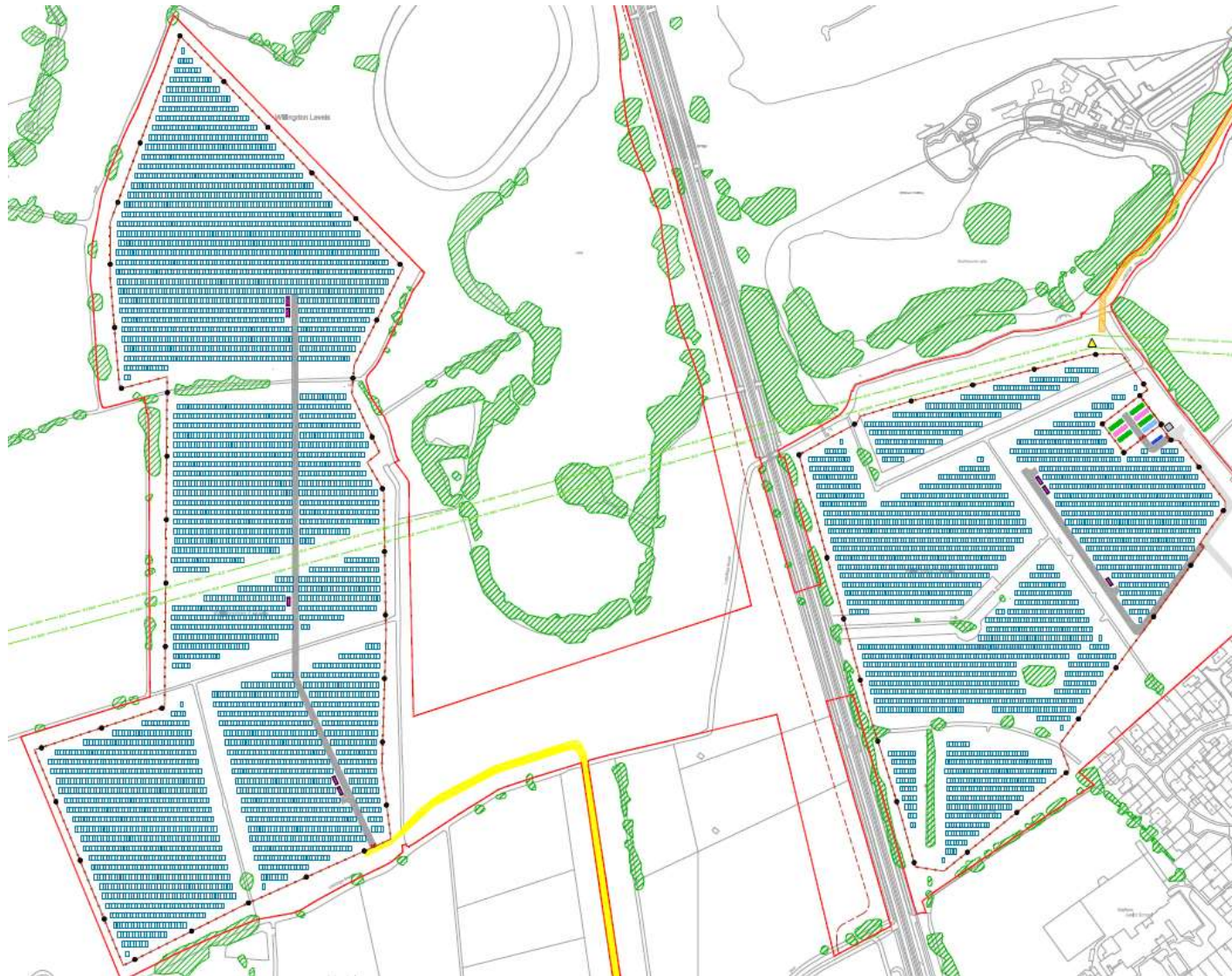
Site Location Plan



Aerial View of Application Site



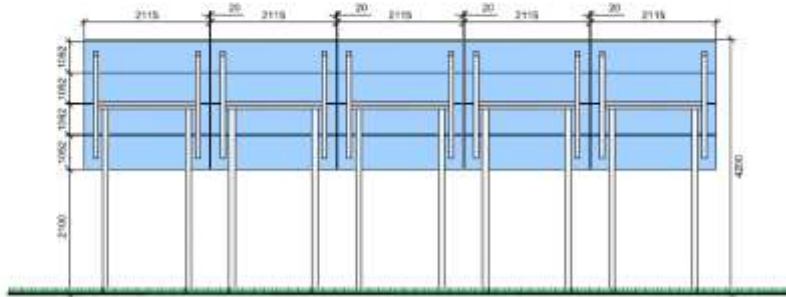
Proposed Layout Plans



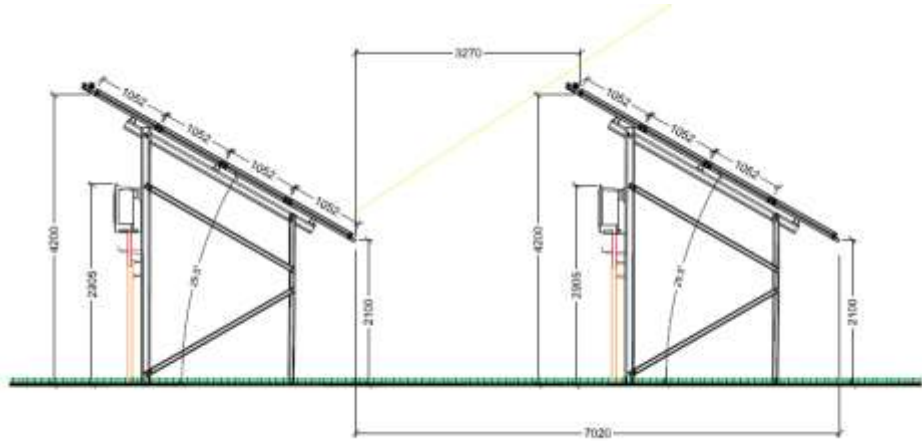
Proposed Panels



1 FRONT PANELS ELEVATION
Scale: 1:2000











2 REAR PANELS ELEVATION
Scale: 1:2000



Illustrative Landscape Plan



Page 26

-  Site Boundary
-  Retained and Enhanced Vegetation
-  Proposed Trees
-  Proposed and Enhanced Native Hedgerow Planting
-  Proposed 15m Wide Tree and Shrub Planting
-  SuDS/Wetland Enhancement Areas
-  Tussocky Grass Mix
-  Species-rich Grazing Mix
-  Proposed Solar PV
-  Development Infrastructure
-  Perimeter Fencing
-  Land Safeguarded for Possible New Pedestrian/Cycle Link

Views from Baddlesmere Road



Views from Weavers Close

Existing



After 1 Year



After 15 Years



Views from Kings Drive



Views from Eastbourne Downs Golf Course



240166

Land to the Rear of Durham Court, Rockhurst Drive, Eastbourne, BN20 8UT

Demolition of existing garages and erection of 2no. two-bedroom dwellings and 2no three-bedroom dwellings along with associated landscaping and parking (amended scheme received 02 July 2024)

Site Location Plan



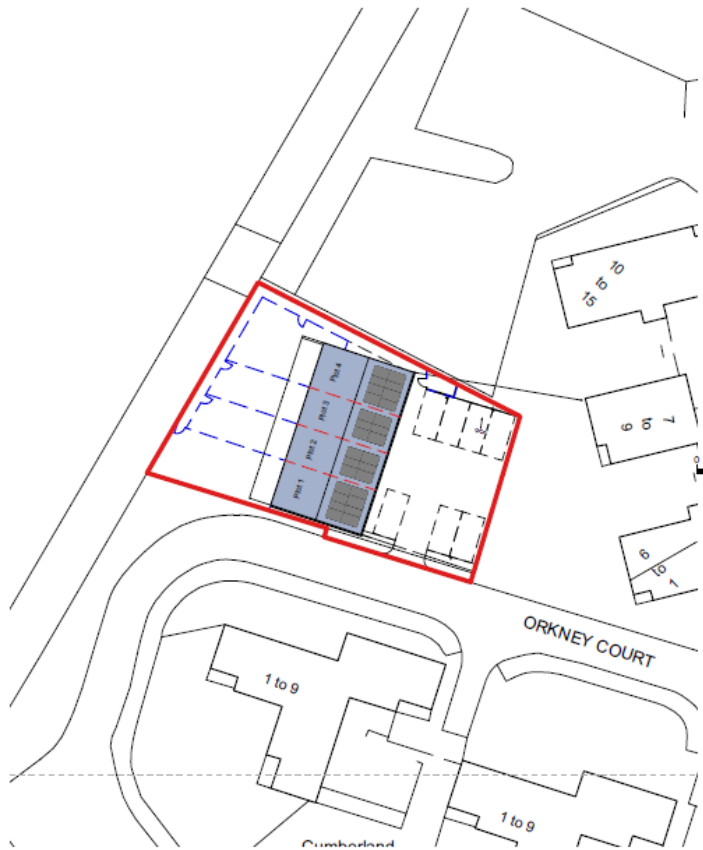
Aerial View of Application Site



Existing and Proposed Block Plans

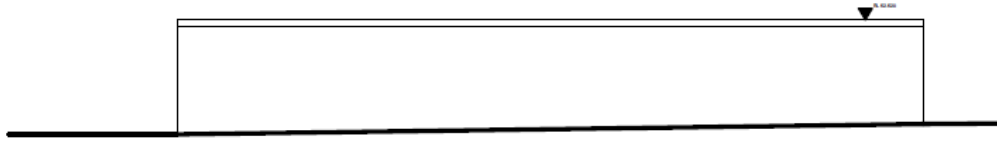


1:500 Existing Block Plan



1:500 Proposed Block Plan

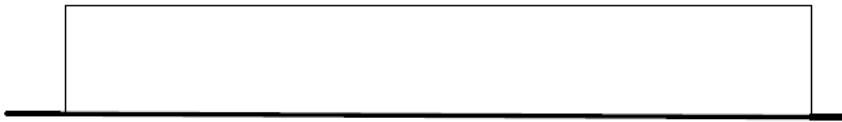
Existing Elevations



South Elevation (Front)



East Elevation (Side)

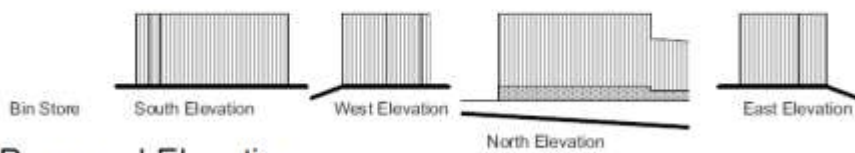
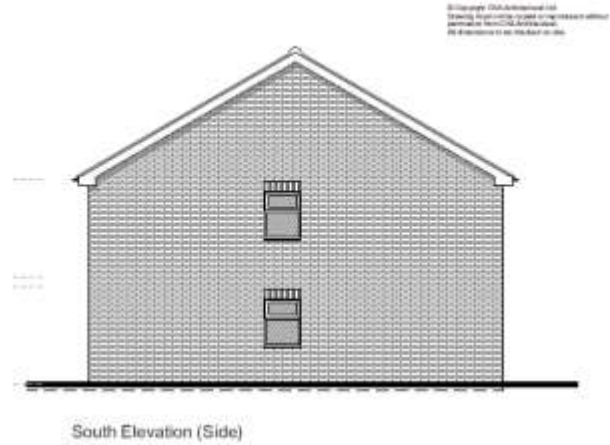


North Elevation (Rear)



West Elevation (Side)

Proposed Elevations



Proposed Elevations



Client: Snookwell Property Developments
 Project description: Site Redevelopment
 Project address: Garages Rear Of Durham Court, Rockhurst Drive, Earlsbourne, East Sussex, BN20 8UP

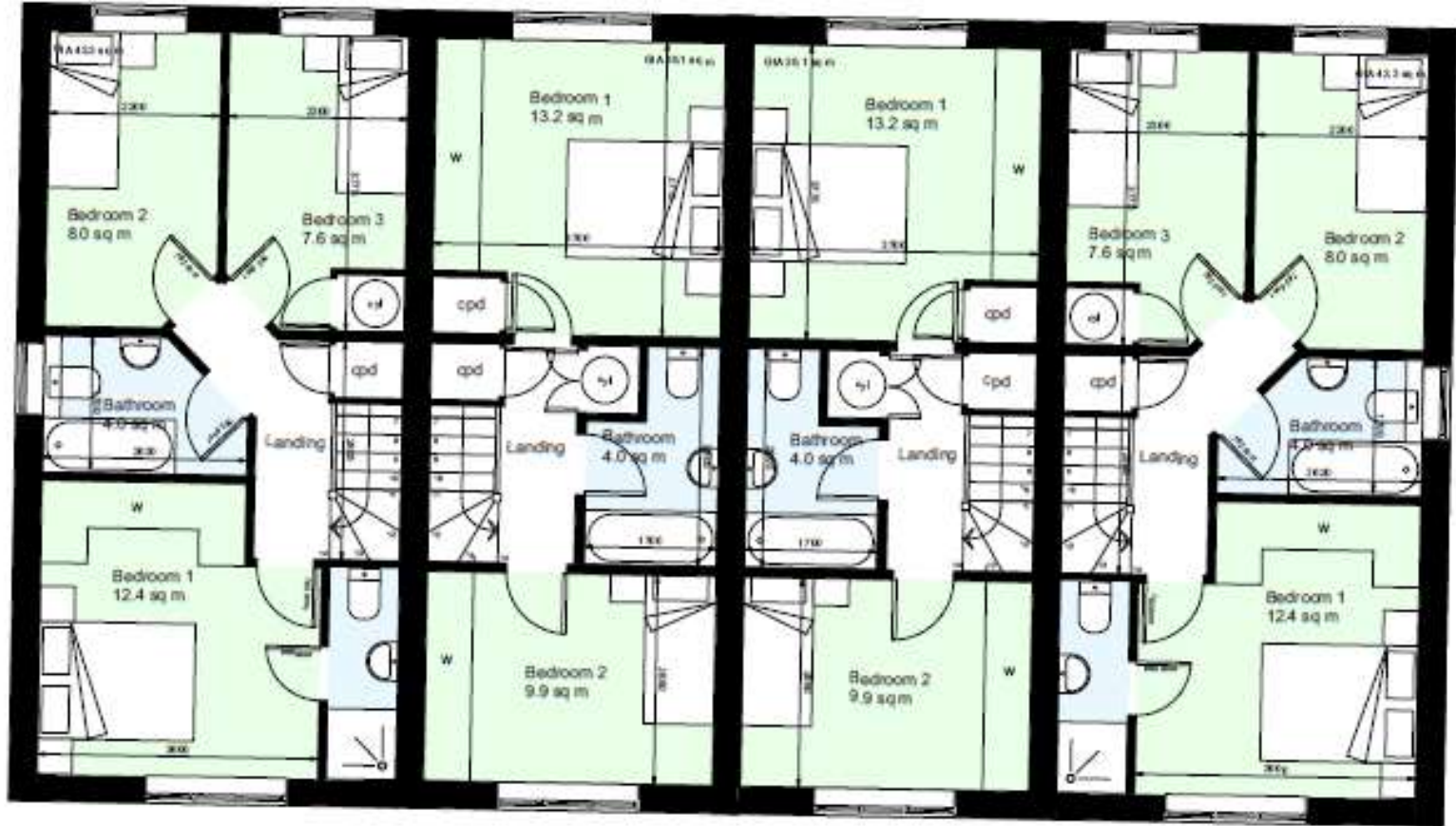
Project location: Site Redevelopment
 Drawing title: Proposed Elevations
 Scale: 1:100 @ A3
 Date: 3367 07 0

© City of Kent Architecture Ltd
 Drawing developed by client on agreement without
 permission from City of Kent Architecture Ltd
 All rights reserved to City of Kent Architecture Ltd

Proposed Ground Floor Plans



Proposed First Floor Plans



Site Photographs.



240035

Land at Wadhurst Close, Eastbourne

Page 40

Proposed redevelopment of site comprising the demolition of existing 19no. garages and erection of 7no. two-bedroom dwellings with parking and landscaping (Amended Description).

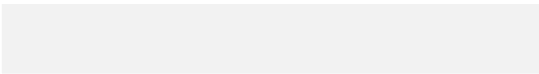
Location Plan

Date Produced: 17-Jan-2024

Scale: 1:1250 @A4



Proposed Site Location Plan



Proposed site layout plan with parking notes



1. The final ground levels shall be in accordance with the proposed site plan.
 2. The final ground levels shall be in accordance with the proposed site plan.
 3. The final ground levels shall be in accordance with the proposed site plan.
 4. The final ground levels shall be in accordance with the proposed site plan.

ACCOMMODATION SCHEDULE			
PLOT	UNIT TYPE	MINIMUM GIA REQUIRED (m ²)	GIA PROVIDED (m ²)
HOUSE 1	2 BED, 3 PERSON	70	71
FLAT 1	2 BED, 3 PERSON	61	62
FLAT 2	2 BED, 3 PERSON	61	62
FLAT 3	2 BED, 3 PERSON	61	62
FLAT 4	2 BED, 3 PERSON	61	62
FLAT 5	2 BED, 3 PERSON	61	62
FLAT 6	2 BED, 3 PERSON	61	62

LEGEND

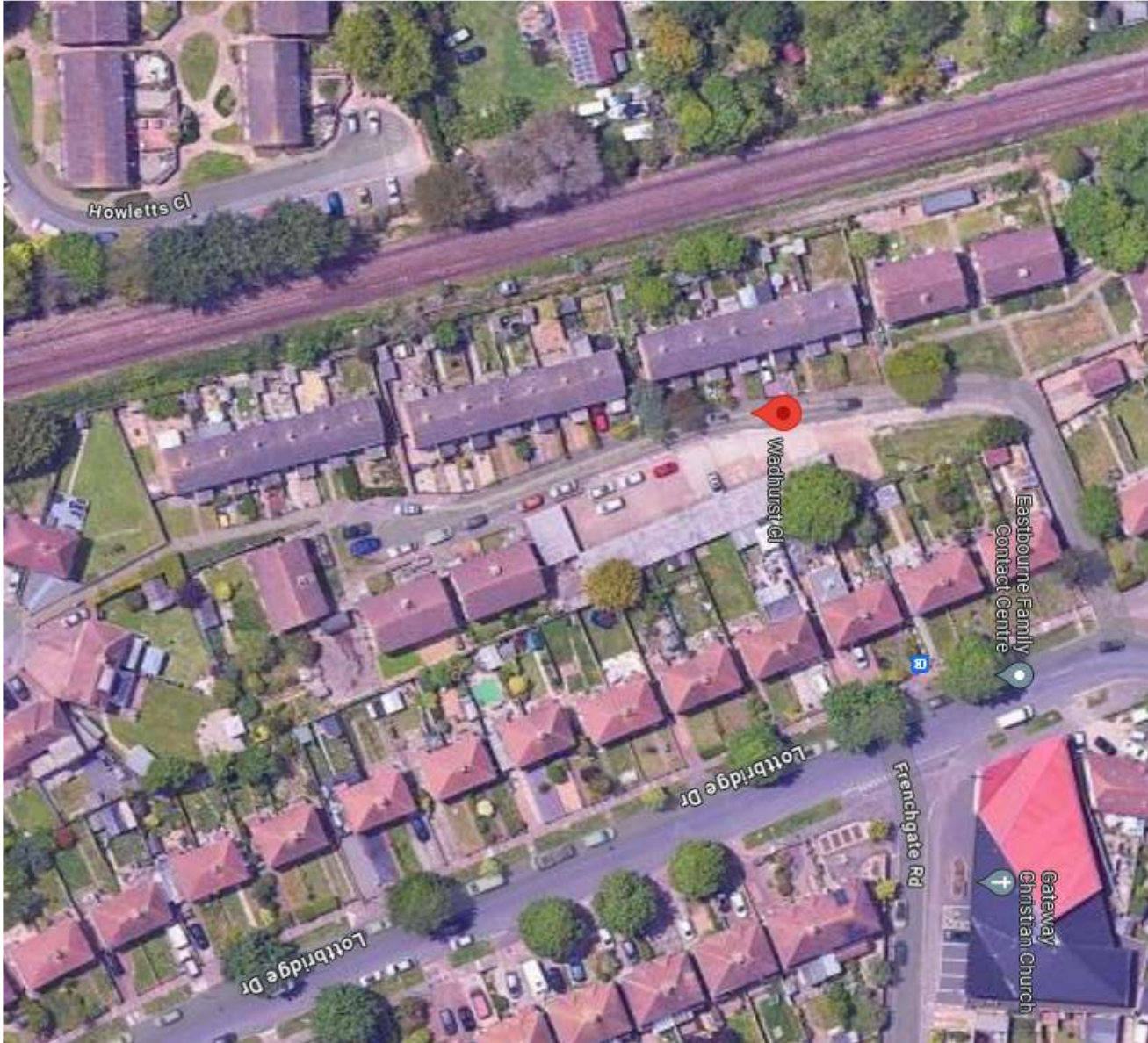
- permeable paving (dark grey)
- landscaped area
- river grey paving slabs
- soft landscaped border of lavender and box hedging mix
- 1.8m high close boarded fence
- 900mm high picket fence
- site boundary



1. 100% of parking spaces covered
 2. 100% of parking spaces covered
 3. 100% of parking spaces covered
 4. 100% of parking spaces covered

Project Name: Wadhurst Close, Hove, Brighton, BN2 3PG
 Project No: 0124
 Date: 21.08.2024
 Scale: 1:200 or A2 paper
CHALLINOR HALL
 ARCHITECTS

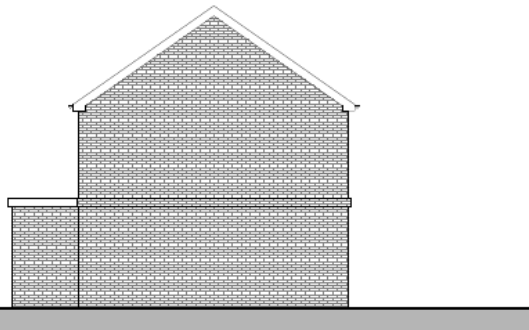
Aerial View of Application Site.



Proposed front and side elevations (flats 1-6)



FRONT (WEST) ELEVATION



SIDE (SOUTH) ELEVATION

A 21.03.24 proposal redesigned		
no.	date	amendment
Client Galega Ltd		
Project Address Wadhurst Close, Eastbourne, BN22 9PG		
Project Proposed redevelopment of site to provide 1no. detached house and 6no. self-contained flats		
Drawing Title Proposed front and side elevations (flats 1-6)		
Stage PLANNING		
Issue Date 21.03.2024	Project No. 0124	
Scale 1:100 on A3 paper	Drawing No. 08	Rev. A



19 Wellingdon Park Drive • Eastbourne • BN22 0BS
 (T): 01323 411933 (W): www.challinorhall.co.uk
 (E): hie@challinorhall.co.uk

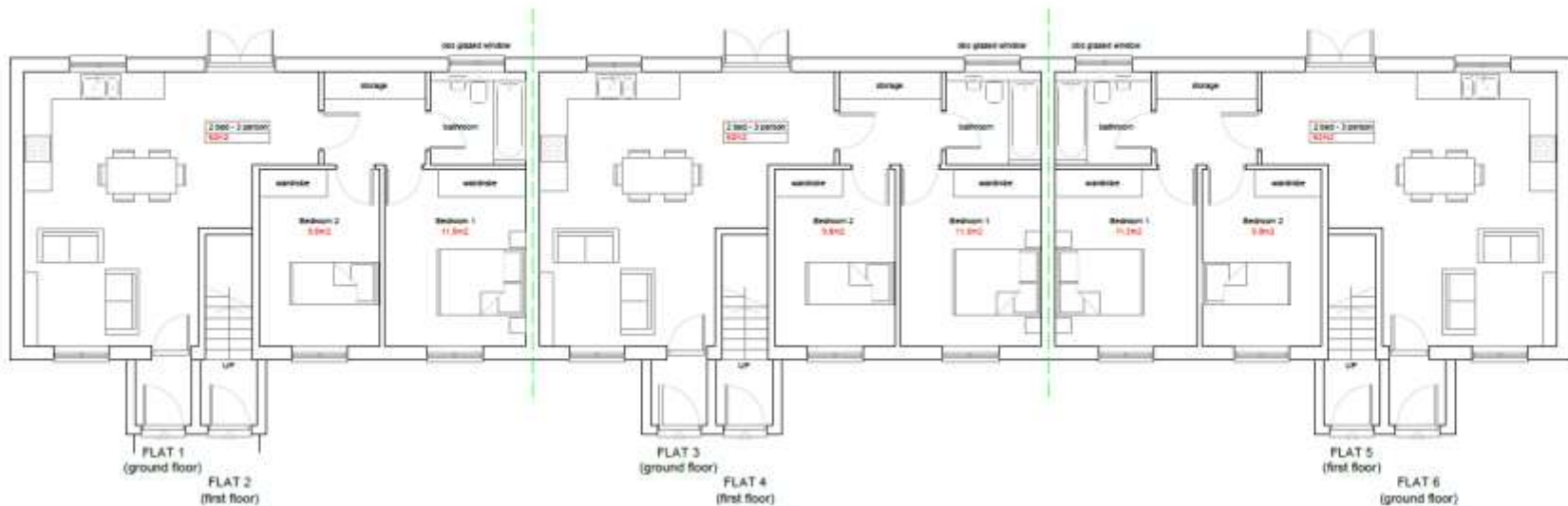
Proposed floor plans (flats 1-6)



1. No. of beds shown and figures in brackets
2. No. of bedrooms shown and figures in brackets
3. Area is indicated with an arrow and figures in brackets
4. Dimensions of flat in proposed building are indicated in brackets

Page 46

FIRST FLOOR PLAN (FLATS 2, 4 & 5)



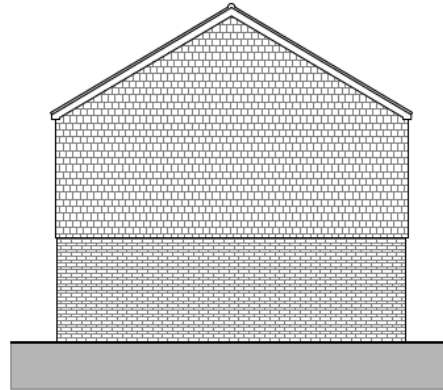
A	21.03.24	Amended drawings
no.	date	description
Client: Galega Ltd		
Project Address: Watfurst Close, Eastle		
Project: Proposed redevelopment (no. detached house) as flats		
Drawing Title: Proposed ground and first		
Type: PLANNING		
Date: 21.03.2024		
Scale:		

Proposed elevations (house 1)

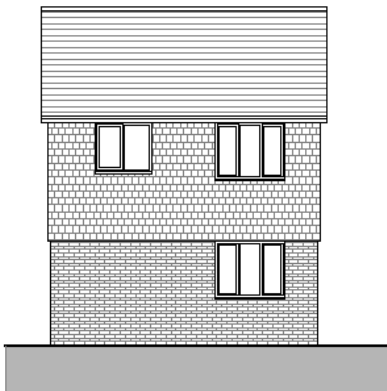
- 4. Read in conjunction with all relevant structural and mechanical & electrical engineers drawings.
- 5. Dimensions critical to proposed building works must be checked on site before building works commence.



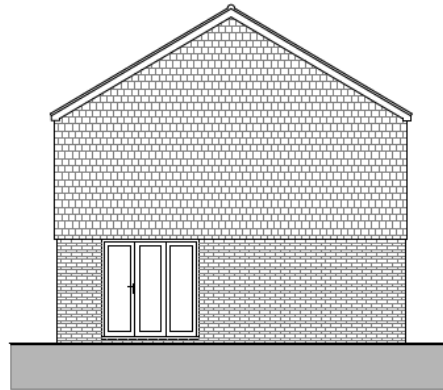
PROPOSED FRONT (WEST) ELEVATION (HOUSE 1)



PROPOSED SIDE (SOUTH) ELEVATION (HOUSE 1)



PROPOSED REAR (EAST) ELEVATION (HOUSE 1)



PROPOSED SIDE (NORTH) ELEVATION (HOUSE 1)

A	21.03.24	proposals redesigned
rev.	date	amendment
Client Galega Ltd		
Project Address Wadhurst Close, Eastbourne, BN22 9PG		
Project Proposed redevelopment of site to provide 1no. detached house and 6no. self-contained flats		
Drawing Title Proposed elevations - House 1		
Stage PLANNING		
Issue Date 21.03.2024	Project No. 0124	
Scale 1:100 on A3 paper	Drawing No. 05	Rev. A

Photographs of existing garage block and grass verge

Page 48



The existing garage block and grass verge.

Site photograph



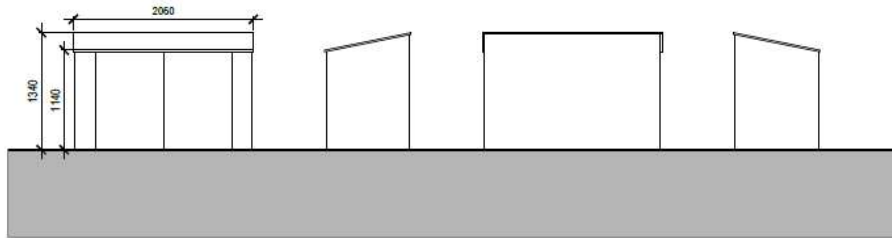
Site photograph.



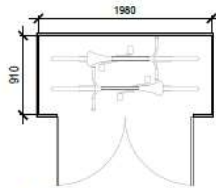
Site photograph.



Cycle Store– Plan and Elevation



ELEVATIONS



PLAN

APPROX. MEASUREMENTS

EXTERNAL

H: 1140mm (front)
 H: 1340mm (rear)
 D: 1043mm (inc. lid)
 W: 2060mm (inc. lid)

INTERNAL

H: 1120mm (front)
 H: 1320mm (rear)
 D: 910mm
 W: 1980mm

ASGARD ACCESS STORAGE UNIT

- Tough 3-point locking system
- Double door access and gas lift up lid for easy access
- Unique ventilation system to reduce condensation
- Weatherproof construction made from strong, thick, galvanised steel

A tough weatherproof all-metal storage unit designed to give you the easiest possible access to your bikes and riding equipment. The Access holds up to 4 bikes which is accessible via two large reinforced doors and gas-lift reinforced lid.



no.	date	amendment
Client Galega Ltd		
Project Address Wadhurst Close, Eastbourne, BN22 9PG		
Project Proposed redevelopment of site to provide 5no. dwellings		
Drawing Title Proposed cycle storage		
Stage PLANNING		
Issue Date 12.01.2024	Project No. 0124	
Scale 1:50 on A3 paper	Drawing No. 10	Rev. 001
 CHALLINOR HALL architecture		